



DEVELOPMENT PERMIT NO. DP001083

0911872 B.C. LTD.

Name of Owner(s) of Land (Permittee)

6975 ISLAND HIGHWAY N

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT A, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN 12781 EXCEPT PART IN PLAN VIP62700 AND EPP14327

PID No. 004-848-861

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Site Data
Schedule D Building Elevations
Schedule E Building Renderings
Schedule F Exterior Materials
Schedule G Landscape Plan and Details

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 9.7.1 Size of Buildings* – to increase the maximum permitted building height for Buildings A, B and C from 14m to 15.4m.

The City of Nanaimo "DEVELOPMENT PARKING BYLAW 2005 NO. 7013" is varied as follows:

2. *Schedule 'A'* - to reduce the required number of off-street parking spaces from 250 to 160 parking spaces.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by Musson Cattell Mackey Partnership, dated 2018-MAR-29, as shown on Schedule B.
2. The subject property is in general compliance with the Building Elevations prepared by Musson Cattell Mackey Partnership dated 2018-MAR-28, as shown on Schedule D.
3. The subject property is general compliance with the Building Renderings (shown on Schedule E) and the Exterior Materials (shown on Schedule F), prepared by Musson Cattell Mackey Partnership, dated 2018-MAR-28.
4. The subject property is in general compliance with the Landscape Plan and Details prepared by Durante Kreuk Ltd., dated 2018-MAR-29, as shown on Schedule G.

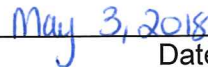
AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 23RD DAY OF APRIL, 2018.



DS

Corporate Officer

Sky Snelgrove
Deputy Corporate Officer
City of Nanaimo



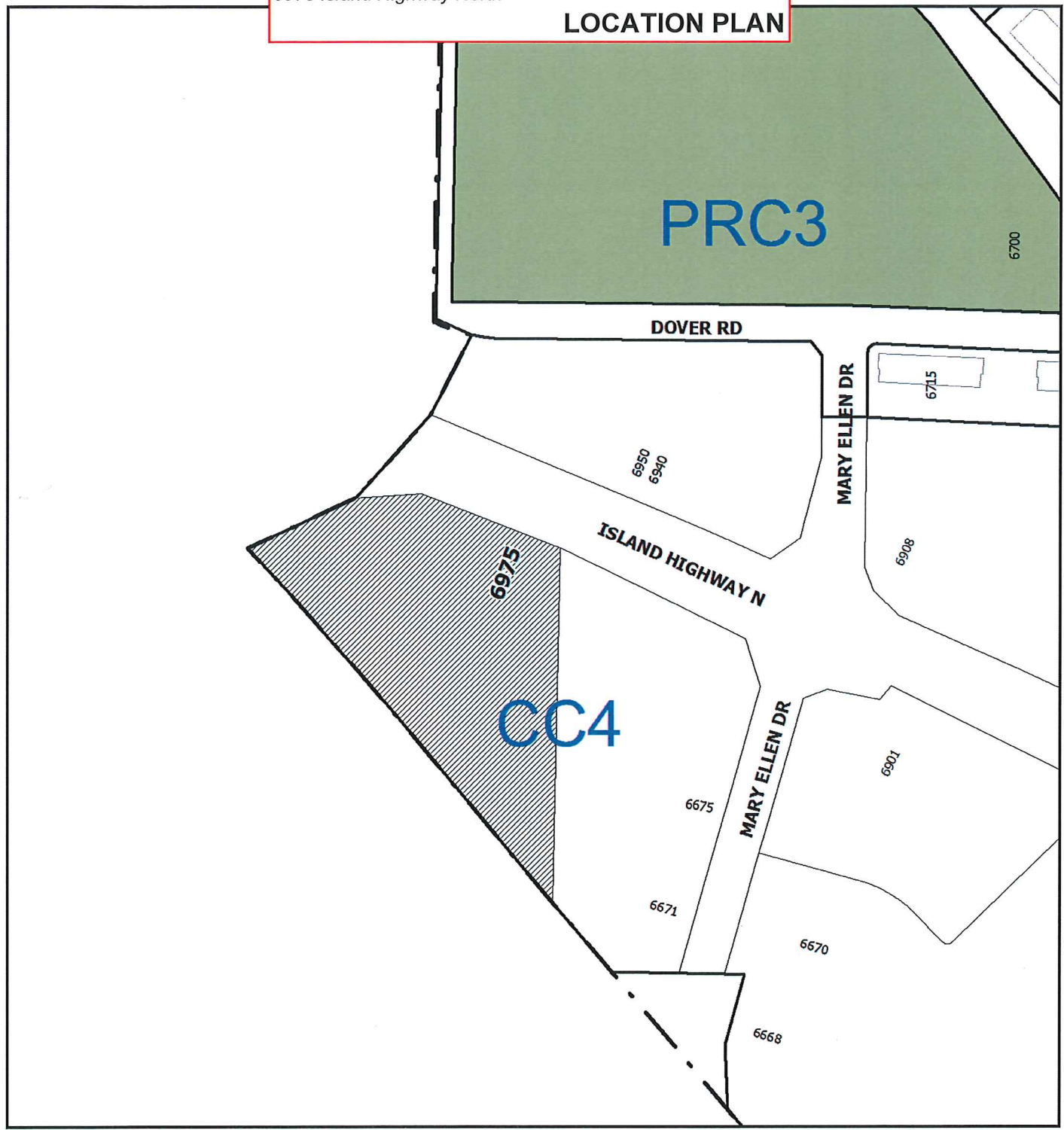
Date

GN/In

Prospero attachment: DP001083

Development Permit DP001083 Schedule A
6975 Island Highway North

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001083



LOCATION PLAN

 **Subject Property**

Civic: 6975 Island Highway North
Lot A, District Lot 26, Wellington District, Plan 12781,
Except Part in Plan VIP62700 and EPP14327

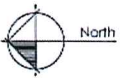
SITE PLAN

MCM

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Mackey
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DISTRICT



3	29 MAR, 2018	2P REVISIONS
2	28 FEB, 2018	2P REVISIONS
1	23 NOV, 2017	2P SUBMISSION
Revisions		WWW.MCM.CO

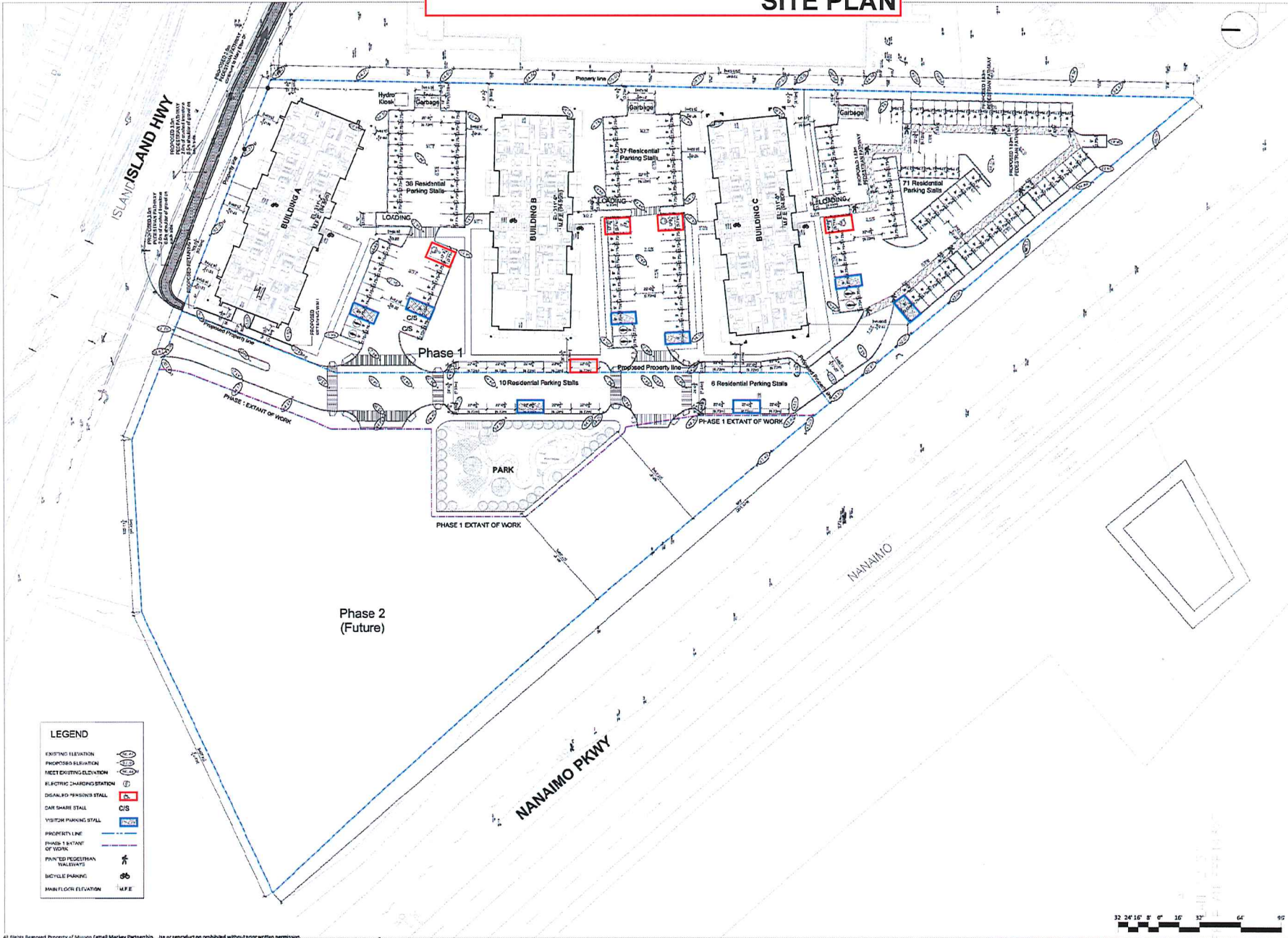
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**6975 NORTH ISLAND
HIGHWAY
NANAIMO**

Project
SITE PLAN

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Drawing
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Sheet **A 001**



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\\NORTH\PROJECTS\6975-NANAIMO\PRODUCTS\03-AUTOCAD\2018\LAID_SITE\PLANNING | 2018-03-31 11:45 AM | GHASHMIAH

SITE DATA

NANAIMO-NORTH GROVE - Project Statistics	
Civic address	6975 ISLAND HIGHWAY N. NANAIMO, BC
Legal Description	LOT A, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN 12781 EXCEPT PART IN PLAN VIP62700 AND EPP14327
PID	004-848-861
Zone	CC4 NORTH NANAIMO URBAN CENTRE

	Site Area	
Entire site	24,971.75 SM	268,793.7 SF
Phase 1 (East section)	13,145.5 SM	141,497 SF
Future Phase 2 (West section)	11,826.25 SM	127,296.7 SF

Area Calculations		
Gross floor area - Building A		
Ground		9,453 SF
2		9,996 SF
3		10,205 SF
4		10,205 SF
Mechanical Penthouse		363 SF
Total- Building A		40,225 SF
Gross floor area - Building B		
Ground		9,453 SF
2		9,996 SF
3		10,205 SF
4		10,205 SF
Mechanical Penthouse		363 SF
Total- Building B		40,225 SF
Gross floor area - Building C		
Ground		9,453 SF
2		9,996 SF
3		10,205 SF
4		10,205 SF
Mechanical Penthouse		363 SF
Total- Building C		40,225 SF
Gross floor area of 3 buildings		120,657 SF
FAR		
Maximum Allowable FAR	Proposed FAR	
1.25	120,657 SF / 141,497 SF = 0.85	

Setbacks		
	Minimum Setback Required	Setback Proposed
Front Yard (North)	7.5 M *	4.77 M
Side Yard (East)	3 M	3.06 M
Side Yard (West)	3 M	4.67 M
Rear Yard (South)	7.5 M	23.61 M

(*) Front yard setback may be reduced to 4.5m where no parking is located between the front property line and the front face of the building.

Building Heights			
	Maximum Allowable Height	Proposed Height	Variance
Building A	14 M	15.40 M	1.4 M
Building B	14 M	15.40 M	1.4 M
Building C	14 M	15.40 M	1.4 M

Units Count and Mix				
Units Count - Building A				
	Studio	One Bed.	One Bed. + Den	Two Bed.
Ground	1	7	2	2
2	1	8	-	4
3	1	7	-	5
4	1	7	-	5
Total units - Building A	4	29	2	16
51				
Units Count - Building B				
	Studio	One Bed.	One Bed. + Den	Two Bed.
Ground	-	6	1	3
2	1	8	-	4
3	1	7	-	5
4	1	7	-	5
Total units - Building B	3	28	1	17
49				
Units Count - Building C				
	Studio	One Bed.	One Bed. + Den	Two Bed.
Ground	1	7	2	2
2	1	8	-	4
3	1	7	-	5
4	1	7	-	5
Total units - Building C	4	29	2	16
51				
Tctal units for 3 buildings				
	Studio	One Bed.	One Bed. + Den	Two Bed.
	11	86	5	49
151				
Unit Mix %				
	7%	57%	3%	33%

Parking				
Residential Parking				
Required per current bylaw		Required per new draft bylaw		
	Studio	1" x 0.75 =	8.25	9
	One Bed.	9" x 0.88 =	80.08	81
151 units x 1.66=	Two Bed.	49 x 1.26 =	61.74	62
Total 251	Total		150.07	152
Visitor Parking				
Required per current bylaw		Required per new draft bylaw		
251 stalls / 22= 11.4		152 stalls / 22= 6.9		
Total 12 (counted toward the overall number of parking spaces required)		Total 7 stalls (counted toward the overall number of parking spaces required)		
Disabled Person's Parking				
Required per current bylaw		Required per new draft bylaw		
2 per 100 required or part thereof		2 per 100 required or part thereof		
Total 6 (counted toward the overall number of parking spaces required)		Total 4 stalls (counted toward the overall number of parking spaces required)		
Proposed Electronic charging stations				
6 stalls (counted toward the overall number of parking spaces required)				
Proposed Car Share Parking				
2 stalls (counted toward the overall number of parking spaces required)				
Total parking provided in phase 1 = 160				

Bikes
0.5 x 152 Units = minimum 76 bikes long term proposed (76 bikes long term provided)
0.1 x 152 units = 15.2 bikes short term proposed (13 bikes short term provided)

Amenity Area
696 SF of amenity area is proposed in building B, ground floor

BUILDING ELEVATIONS

M C M

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DISTRICT



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

MATERIALS LEGEND

- (B1) - BRICK - COLOR 1 - YUKON GRAY BRICK
- (B2) - BRICK - COLOR 2 - RED BRICK
- (B3) - BRICK CLAD RETAINING WALL
- (M1) - METAL PANEL
- (W1) - WOOD PANEL
- (W2) - WOOD SOFFIT
- (W3) - WOOD POST
- (T1) - WOOD TRIM- COLOR 1 - IRON GRAY

- (P1) - LARGE FORMAT PANEL- COLOR 1 - IRON GRAY
- (P2) - LARGE FORMAT PANEL- COLOR 2 - LIGHT MIST
- (P3) - LARGE FORMAT PANEL- COLOR 3 - SLATE GRAY
- (P4) - LARGE FORMAT PANEL- COLOR 4 - RICH ESPRESSO

- (K1) - WOOD PLANK- COLOR 1 - ARCTIC ICE
- (K2) - WOOD PLANK- COLOR 2 - EVENING BLUE
- (S1) - FIBRE CEMENT SOFFIT- COLOR 1 - ARCTIC ICE
- (S2) - FIBRE CEMENT SOFFIT- COLOR 2 - TIMBER BARK

- (G1) - WINDOW VISION GLASS
- (G2) - WINDOW VINYL FRAME
- (G3) - LAMINATED GLASS

- (C1) - CONCRETE

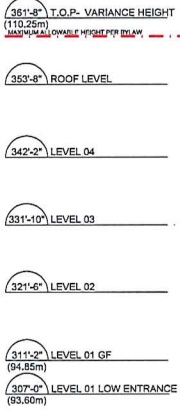


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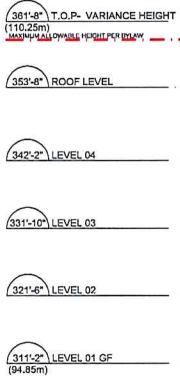
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HIGHWAY
NANAIMO

Project
**BUILDING A
ELEVATIONS**

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DP 1083
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Drawing
Scale 1/8" = 1'-0"
Project 217050
Sheet **A 301**



1 WEST ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"

MATERIALS LEGEND

- (B1) - BRICK - COLOR 1 - YUKON GRAY BRICK
- (B2) - BRICK - COLOR 2 - RED BRICK
- (B3) - BRICK CLAD RETAINING WALL
- (M) - METAL PANEL
- (W1) - WOOD PANEL
- (W2) - WOOD SOFFIT
- (W3) - WOOD POST
- (T) - WOOD TRIM- COLOR 1 -IRON GRAY

- (P1) - LARGE FORMAT PANEL- COLOR 1 - IRON GRAY
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- (P4) - LARGE FORMAT PANEL- COLOR 4 - RICH ESPRESSO

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- (C1) - CONCRETE



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**BUILDING A
 ELEVATIONS**

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 Project: 217060
 Sheet: **A 302**



1 NORTH ELEVATION
 3/8" = 1'-0"



2 SOUTH ELEVATION
 3/8" = 1'-0"

MATERIALS LEGEND

- (B1) - BRICK - COLOR 1 - YUKON GRAY BRICK
- (B2) - BRICK - COLOR 2 - RED BRICK
- (B3) - BRICK CLAD RETAINING WALL
- (M1) - METAL PANEL
- (W1) - WOOD PANEL
- (W2) - WOOD SOFFIT
- (W3) - WOOD POST
- (T1) - WOOD TRIM - COLOR 1 - IRON GRAY

- (P1) - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
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- (P3) - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- (P4) - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO

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- (C1) - CONCRETE

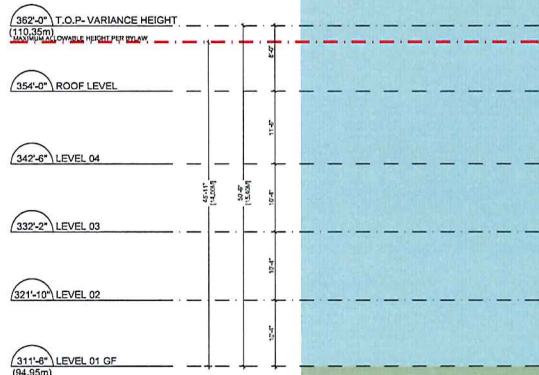


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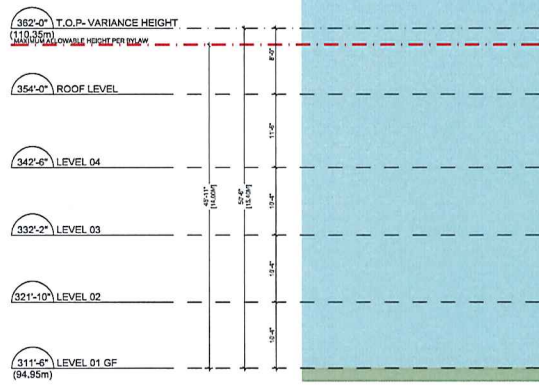
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Project
**BUILDING B
 ELEVATIONS**

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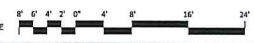
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 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"

MATERIALS LEGEND

<p>ⓑ1 - BRICK - COLOR 1 - YUKON GRAY BRICK</p> <p>ⓑ2 - BRICK - COLOR 2 - RED BRICK</p> <p>ⓑ3 - BRICK CLAD RETAINING WALL</p> <p>Ⓜ1 - METAL PANEL</p>	<p>Ⓜ2 - WOOD PANEL</p> <p>Ⓜ3 - WOOD SOFFIT</p> <p>Ⓜ4 - WOOD POST</p> <p>Ⓜ5 - WOOD TRIM- COLOR 1-IRON GRAY</p>	<p>ⓐ1 - LARGE FORMAT PANEL- COLOR 1 - IRON GRAY</p> <p>ⓐ2 - LARGE FORMAT PANEL- COLOR 2 - LIGHT MIST</p> <p>ⓐ3 - LARGE FORMAT PANEL- COLOR 3 - SLATE GRAY</p> <p>ⓐ4 - LARGE FORMAT PANEL- COLOR 4 - RICH ESPRESSO</p>	<p>Ⓚ1 - WOOD PLANK- COLOR 1 - ARCTIC ICE</p> <p>Ⓚ2 - WOOD PLANK- COLOR 2 - EVENING BLUE</p> <p>Ⓛ1 - FIBRE CEMENT SOFFIT- COLOR 1 - ARCTIC ICE</p> <p>Ⓛ2 - FIBRE CEMENT SOFFIT- COLOR 2 - TIMBER BARK</p>	<p>ⓐ1 - WINDOW VISION GLASS</p> <p>ⓐ2 - WINDOW VINYL FRAME</p> <p>ⓐ3 - LAMINATED GLASS</p> <p>ⓐ4 - CONCRETE</p>
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**BUILDING B
 ELEVATIONS**

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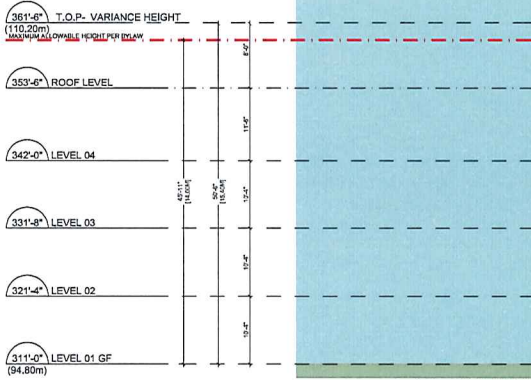
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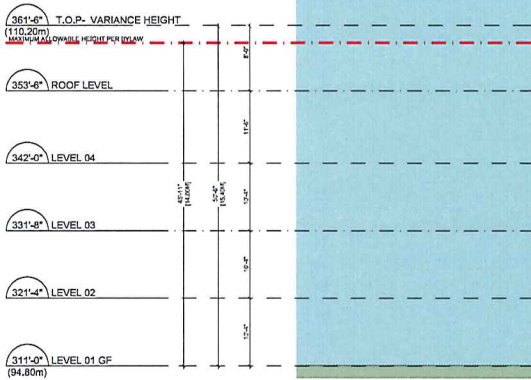
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DISTRICT



1 WEST ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"

MATERIALS LEGEND

- (B1) - BRICK - COLOR 1 - YUKON GRAY BRICK
- (B2) - BRICK - COLOR 2 - RED BRICK
- (B3) - BRICK CLAD RETAINING WALL
- (M1) - METAL PANEL
- (W1) - WOOD PANEL
- (W2) - WOOD SOFFIT
- (W3) - WOOD POST
- (T1) - WOOD TRIM- COLOR 1 -IRON GRAY

- (P1) - LARGE FORMAT PANEL- COLOR 1 - IRON GRAY
- (P2) - LARGE FORMAT PANEL- COLOR 2 - LIGHT MIST
- (P3) - LARGE FORMAT PANEL- COLOR 3 - SLATE GRAY
- (P4) - LARGE FORMAT PANEL- COLOR 4 - RICH ESPRESSO

- (K1) - WOOD PLANK- COLOR 1 - ARCTIC ICE
- (K2) - WOOD PLANK- COLOR 2 - EVENING BLUE
- (S1) - FIBRE CEMENT SOFFIT- COLOR 1 - ARCTIC ICE
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- (G1) - WINDOW VISION GLASS
- (G2) - WINDOW VINYL FRAME
- (G3) - LAMINATED GLASS

- (C1) - CONCRETE



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Project
**BUILDING C
 ELEVATIONS**

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BUILDING RENDERINGS

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DISTRICT



1 NORTH WEST VIEW



2 SOUTH WEST VIEW

MATERIALS LEGEND

- (B1) - BRICK - COLOR 1 - YUKON GRAY BRICK
- (B2) - BRICK - COLOR 2 - RED BRICK
- (B3) - BRICK CLAD RETAINING WALL
- (M) - METAL PANEL

- (W1) - WOOD PANEL
- (W2) - WOOD SOFFIT
- (W3) - WOOD POST
- (T1) - WOOD TRIM - COLOR 1 - IRON GRAY

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- (C) - CONCRETE

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Project
**BUILDINGS A
 PERSPECTIVE
 VIEWS**

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 Scale N.T.S.
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 Sheet **A 351**



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DISTRICT



1 NORTH WEST VIEW



2 SOUTH WEST VIEW

MATERIALS LEGEND

<p>(B1) - BRICK - COLOR 1 - YUKON GRAY BRICK</p>	<p>(W1) - WOOD PANEL</p>	<p>(P1) - LARGE FORMAT PANEL- COLOR 1 - IRON GRAY</p>	<p>(K1) - WOOD PLANK- COLOR 1 - ARCTIC ICE</p>	<p>(G1) - WINDOW VISION GLASS</p>
<p>(B2) - BRICK - COLOR 2 - RED BRICK</p>	<p>(W2) - WOOD SOFFIT</p>	<p>(P2) - LARGE FORMAT PANEL- COLOR 2 - LIGHT MIST</p>	<p>(K2) - WOOD PLANK- COLOR 2 - EVENING BLUE</p>	<p>(G2) - WINDOW VINYL FRAME</p>
<p>(B3) - BRICK CLAD RETAINING WALL</p>	<p>(W3) - WOOD POST</p>	<p>(P3) - LARGE FORMAT PANEL- COLOR 3 - SLATE GRAY</p>	<p>(K3) - FIBRE CEMENT SOFFIT- COLOR 1 - ARCTIC ICE</p>	<p>(G3) - LAMINATED GLASS</p>
<p>(M) - METAL PANEL</p>	<p>(T1) - WOOD TRIM- COLOR 1 -IRON GRAY</p>	<p>(P4) - LARGE FORMAT PANEL- COLOR 4 - RICH ESPRESSO</p>	<p>(K4) - FIBRE CEMENT SOFFIT- COLOR 2 - TIMBER BARK</p>	<p>(C1) - CONCRETE</p>

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Project
**BUILDING B
PERSPECTIVE
VIEWS**

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Project: 217010
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 MCMPartnership.com

DISTRICT



1 NORTH WEST VIEW



2 SOUTH WEST VIEW

MATERIALS LEGEND

<p>(B1) - BRICK - COLOR 1 - YLKWON GRAY BRICK</p>	<p>(W1) - WOOD PANEL</p>	<p>(P1) - LARGE FORMAT PANEL- COLOR 1 - IRON GRAY</p>	<p>(K1) - WOOD PLANK- COLOR 1 - ARCTIC ICE</p>	<p>(G1) - WINDOW VISION GLASS</p>
<p>(B2) - BRICK - COLOR 2 - RED BRICK</p>	<p>(W2) - WOOD SOFFIT</p>	<p>(P2) - LARGE FORMAT PANEL- COLOR 2 - LIGHT MIST</p>	<p>(K2) - WOOD PLANK- COLOR 2 - EVENING BLUE</p>	<p>(G2) - WINDOW VINYL FRAME</p>
<p>(B3) - BRICK CLAD RETAINING WALL</p>	<p>(W3) - WOOD POST</p>	<p>(P3) - LARGE FORMAT PANEL- COLOR 3 - SLATE GRAY</p>	<p>(K3) - FIBRE CEMENT SOFFIT- COLOR 1 - ARCTIC ICE</p>	<p>(G3) - LAMINATED GLASS</p>
<p>(M) - METAL PANEL</p>	<p>(T1) - WOOD TRIM- COLOR 1 - IRON GRAY</p>	<p>(P4) - LARGE FORMAT PANEL- COLOR 4 - RICH ESPRESSO</p>	<p>(K4) - FIBRE CEMENT SOFFIT- COLOR 2 - TIMBER BARK</p>	<p>(C1) - CONCRETE</p>

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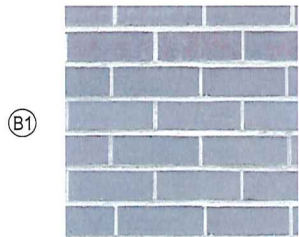
Revisions: YYYMMDD

Seal
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Project
**BUILDING C
 PERSPECTIVE
 VIEWS**

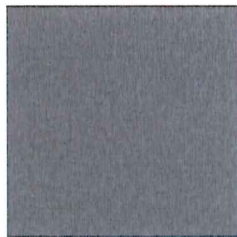
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 Project: 217000
 Sheet: **A 353**

EXTERIOR MATERIALS



(B1)

Yukon Gray Brick



(M1)

Metal Panel



(G1)

Window Vision Glass

James Hardie Plank and Panel Colors



(K1)

Arctic White



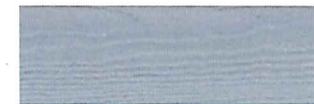
(K2)

Evening Blue



(P1)

Iron Gray



(P2)

Light Mist



(P3)

Slate Gray



(P4)

Rich Espresso

James Hardie Trim and Soffit Colors



(S1)

Arctic White



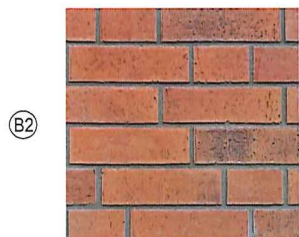
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Timber Bark



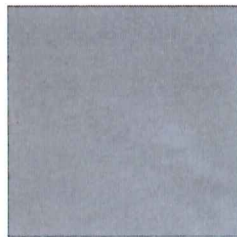
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Iron Gray



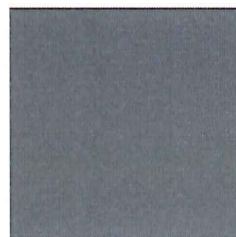
(B2)

Red Brick



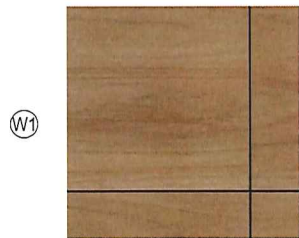
(C1)

Concrete



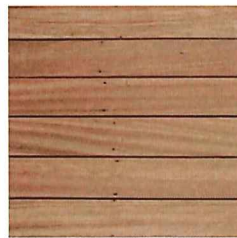
(G2)

Window Vinyl Frame



(W1)

Oak Wood Panel



(W2)

Wood Soffit



(W3)

Wood Post



Musson
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MATERIAL BOARD

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Sheet A 380

LANDSCAPE PLAN AND DETAILS

DRAWING LIST

L-1	Overall Plan	1/15" - 1/10"
L-1.1	Offsite Materials + Planting Plan	1/8" - 1/10"
L-2	Materials + Planting Plan - North	1/8" - 1/10"
L-3	Materials + Planting Plan - South	1/8" - 1/10"
L-4	Details	As Shown
L-5	Details	As Shown

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the current edition of the B.C. Landscape Standard. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standards; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the BCNA (ANSI) Standard.
- All "Soft Landscape Areas" are to be irrigated with a high efficiency design build irrigation system to BABC Standards, c/w rain sensor.
- All irrigation valve boxes equipped with quick-couplers.
- Provide at least 48 hrs notice for all plants and trees to be reviewed by landscape consultant at nursery prior to delivery to site, as per landscape specification.
- Obtain Consultant review and acceptance of growing medium samples and test results prior to delivery to site as per landscape specifications.
- All staked trees in accordance with BCNA Standards.
- ALL STREET TREES or trees near sidewalks/pavement, install 8" x 18" Deep Root Barrier centered on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
- Soil depths to meet or exceed the BCNA Landscape Standard.

TREE LIST

Sym	Qty	Botanical Name	Common Name	Size/Spacing/Comments
	29	Acer rubrum 'Sun Valley'	Sun Valley red maple	6cm cal. WB
	3	Acer macrophyllum	Big Leaf maple	5cm cal. WB
	14	Acer platanoides 'Princeton Gold'	Princeton Gold Norway maple	6cm cal. B+B
	13	Chamaecyparis nootkanensis 'Pendula'	Weeping Nootka cypress	2.5m ht. WB
	8	Fraxinus penn. 'Palmore'	Palmore green ash	7cm cal. WB
	17	Picea amara 'Britus'	Serbian spruce	2.5m ht. B+B
	5	Pinus contorta	Shore pine	2.5m ht. WB
	13	Populus tremuloides 'Prairie Gold'	Prairie Gold trembling aspen	5cm cal. WB
	18	Prunus serotina 'Kanzan'	Kwanzen Flowering cherry	7cm cal. WB
	13	Pseudotsuga menziesii var. Glauca	Rocky Mtn. Douglas fir	2.5m ht. WB
	27	Quercus robur 'Crimson Spire'	Crimson Spire red oak	5cm cal. B+B (columnar)
	3	Quercus garryana	Garry oak	2m ht. WB

Note: No Offsite trees included in count - refer to L1.1

PLANTING LIST

Sym	Qty	Botanical Name	Common Name	Size/Spacing/Comments
	206	Cornus sericea 'Kelsey'	Dwarf Red-osier dogwood	#2 pot 30" o.c.
	429	Lonicera pileolata	Box-leaved honeysuckle	#2 pot 30" o.c.
	1,183	Toxus x media 'Hicksii'	Yew Hedge	1.2m ht B+B RB to RB (Male ONLY)
	253	Viburnum dovalii	David viburnum	#2 pot 24" o.c.
	63	Rhododendron 'Cunningham White'	Cunningham's White Rhodo.	#2 pot 36" o.c.
Grasses, Ferns, Groundcovers and Bio-swale				
	2,321	Poa annua	Japanese spurge	4" pot 12" o.c.
	49	Polystichum minutum	Western sword fern	#2 pot 24" o.c.
	437	Polygonum frutescens	Shrubby cinquefoil	#2 pot 18" o.c.
	1,010	Carex morrowii 'Ice Dance'	Ice Dance Japanese sedge	#1 pot 12" o.c.
	1,554	Festuca glauca 'Elijah Blue'	Elijah Blue fescue	#1 pot 12" o.c.
	262	Pennisetum alopecuroides	Fountaingrass	#1 pot 24" o.c.
	141	Liriodendron spicata	Yarrow	#1 pot 12" o.c.
	209	Achillea millefolium	Western Yarrow	West Coast Seed Supply
	209	Delphinium menziesii	Menzie's Larkspur	4" pot 18" o.c.
	209	Isis missouriensis	Western blue iris	4" pot 18" o.c.
	209	Isis sibirica	Wild flag iris	4" pot 18" o.c.
	209	Juncus effusus	Common rush	4" pot 18" o.c.
	209	Juncus patens	Spreading rush	4" pot 18" o.c.
	209	Scirpus acutus	Hard-stemmed bulrush	4" pot 18" o.c.

PERMEABLE CALCULATION

Permeable Pavers	2,503m ²
Depth of Soil (min)	430mm
Depth of soil for New Tree (min)	900mm

MATERIALS LEGEND

- Permeable Paver
Size: TBD
Colour: Gray
- Special Paver
Size: 24 x 24"
Colour: Natural
- CIP Concrete Sidewalk
Broom Finish w/ saw cuts
- Gravel Path

FURNISHINGS LEGEND

- Special Paver
Size: 24 x 24"
Colour: Charcoal
- Play Surface
Wood Fibre
- Lawn
- Shrub/Perennial Beds
- Evergreen Hedge
- Class B Bicycle Racks (3)
Product TBD
- Custom Wood Bench
TBD
- Kids Play Structure
Spinner
- Natural Play Structure
Logs + Boulders
- Outdoor Furniture
Table + Chairs

- Light Standard / Bollard
- Wall Light
- Up / Feature Light

Note: Final locations and lighting products to be coordinated with electrical and are subject to change.

LIGHTING PRECEDENT IMAGERY



4	Mar 29, 2018	Re-issue for DP
3	Feb 22, 2018	Issue for DP
2	Feb 16, 2018	Issue for Coordination
1	Oct 05, 2017	Issue for Client Review
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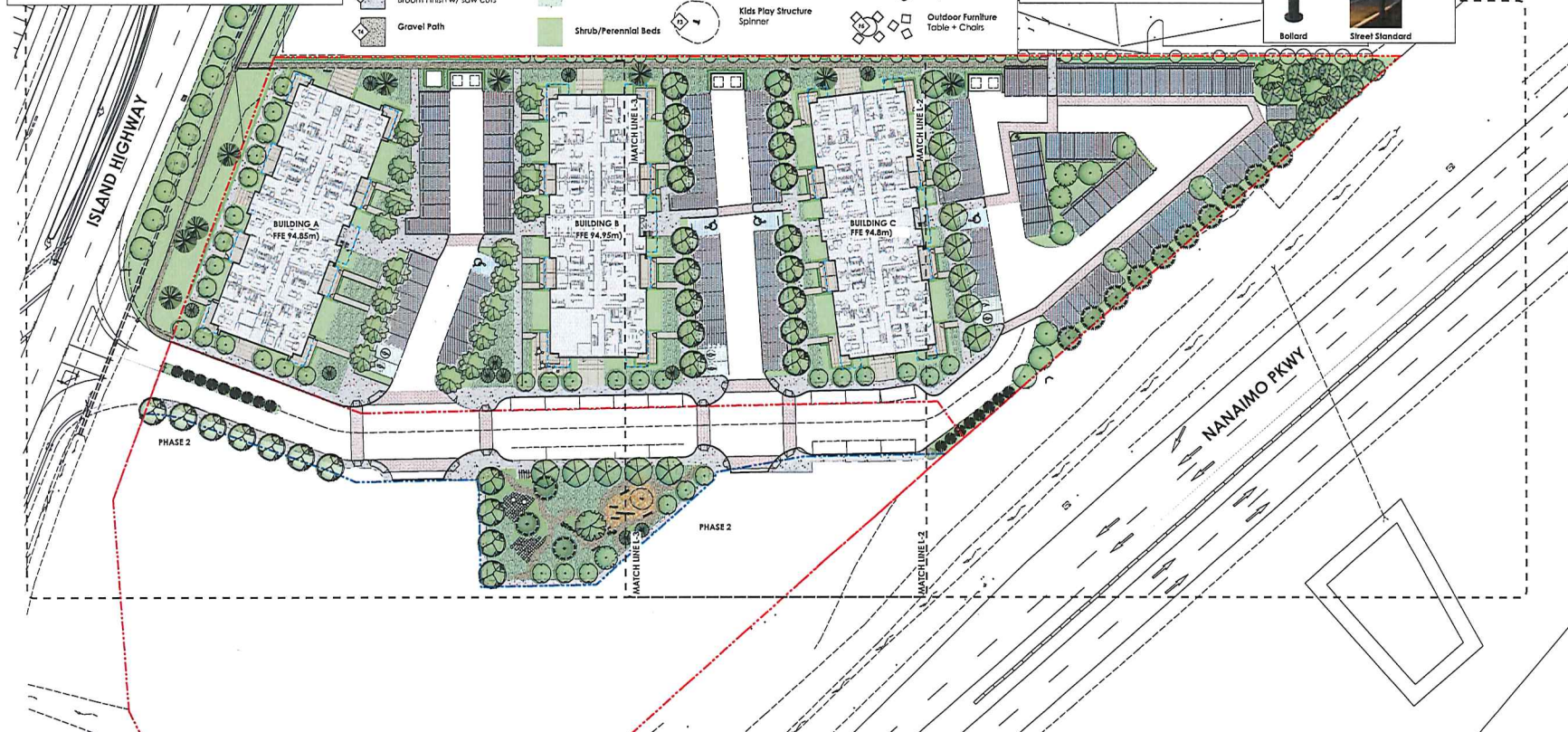


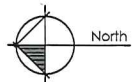
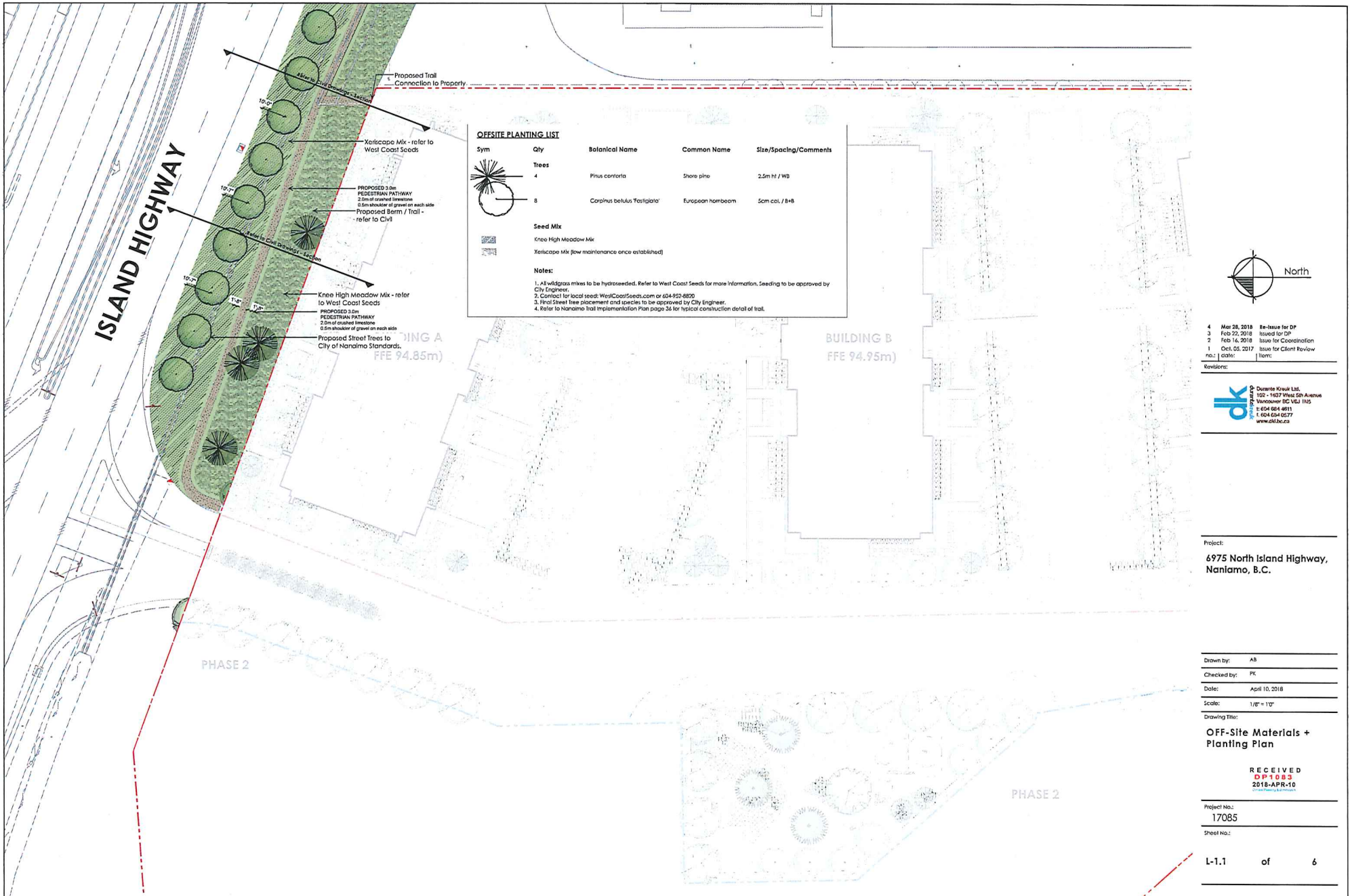
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6975 North Island Highway,
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Drawn by:	AB
Checked by:	PK
Date:	April 10, 2018
Scale:	1/16"=1'-0"
Drawing Title:	Overall Landscape Plan



Project No.:	17085
Sheet No.:	L-1 of 6





- Revisions:
- | | | |
|---|--------------|-------------------------|
| 4 | Mar 28, 2018 | Re-issue for DP |
| 3 | Feb 22, 2018 | Issued for DP |
| 2 | Feb 16, 2018 | Issue for Coordination |
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Project:
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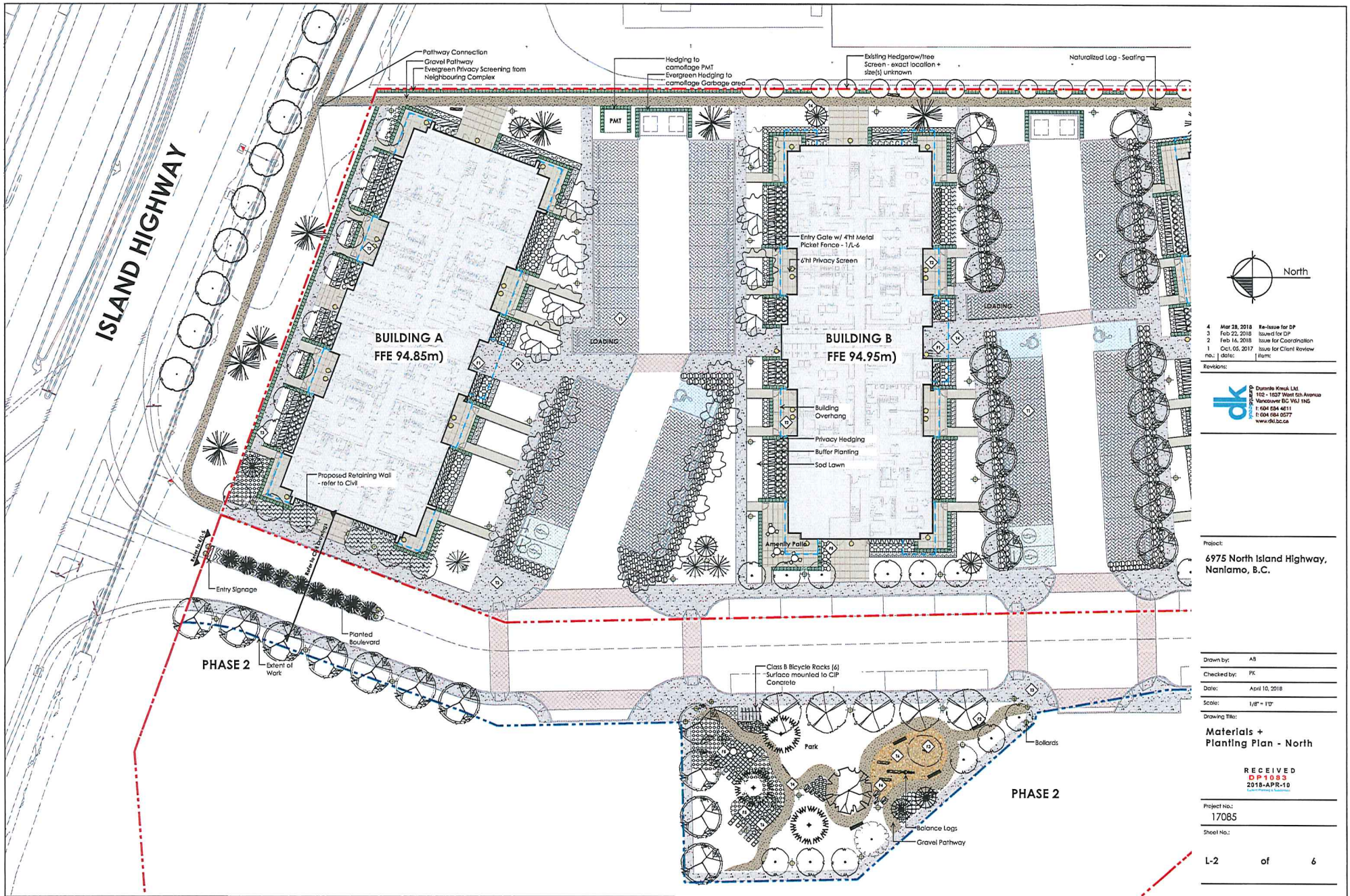
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**Off-Site Materials +
Planting Plan**

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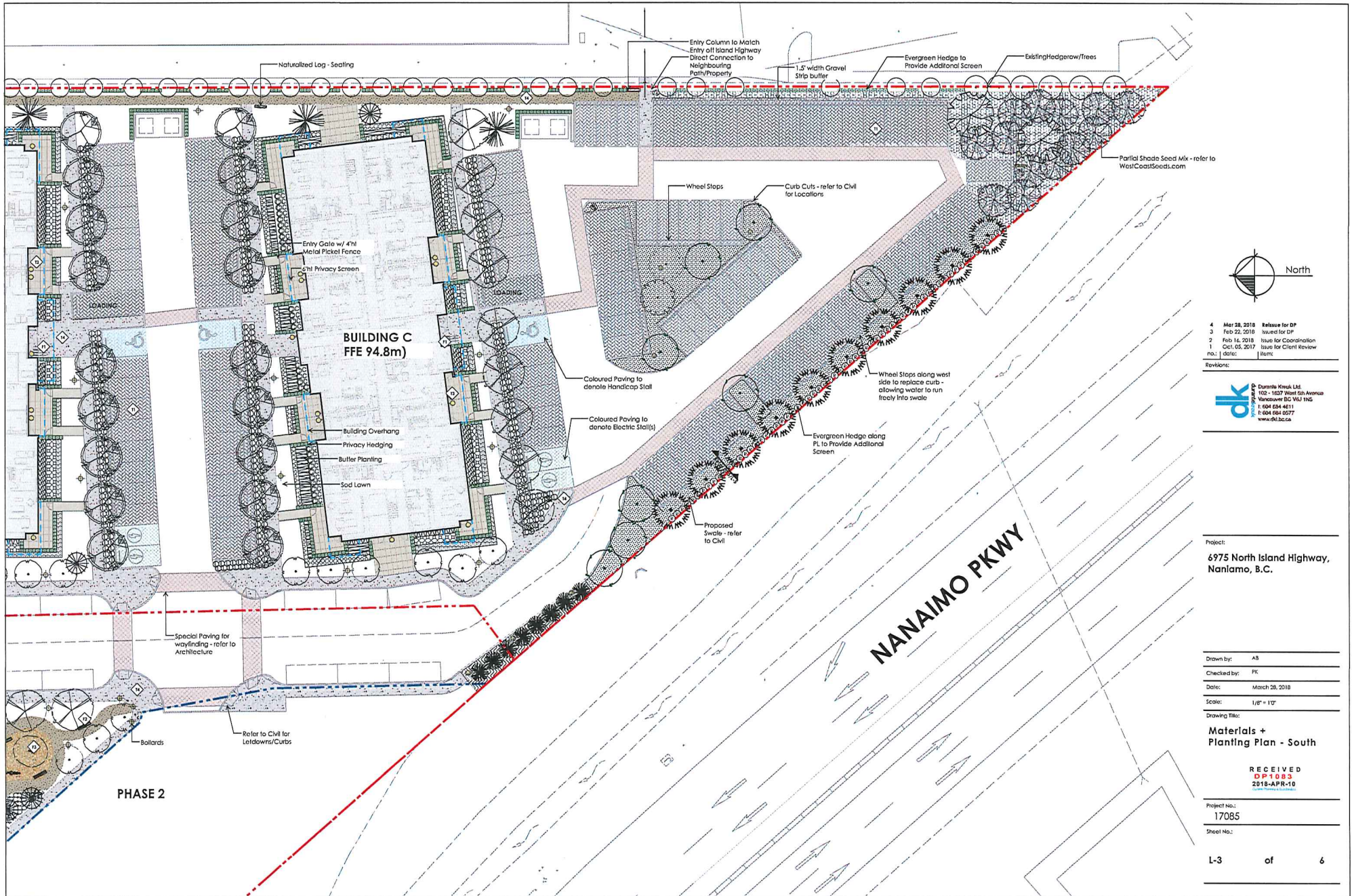
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**Materials +
 Planting Plan - North**

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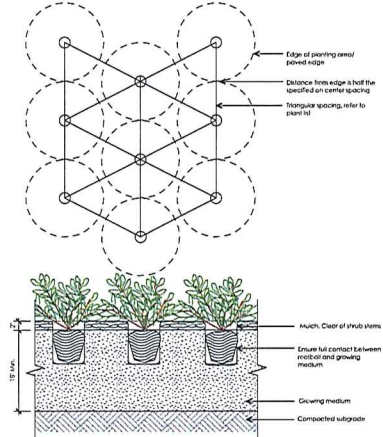
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**Materials +
 Planting Plan - South**

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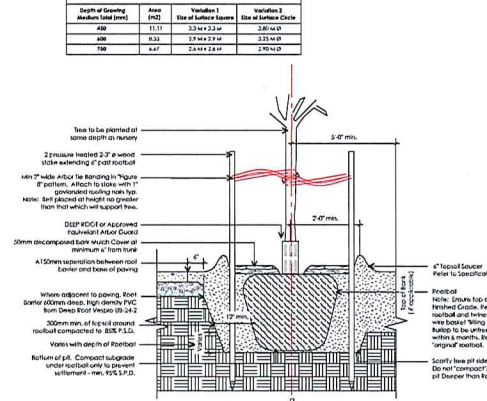
GENERAL NOTES:
 1. Plant to be planted with top of rootball level with finish grade.
 2. Composted bark mulch to be kept at least 2" away from stems.
 3. Prune any broken or damaged trunks and double leaders using approved pruning tools and standard ISA pruning practices, see specifications.
 4. A representative area of each plant species is to be laid out and approved by landscape architect prior to planting.



1 Typical Planting Layout
 Scale: 1" = 1'-0"

General Notes:
 1. Do not cut tree trunks.
 2. Protect tree from damage during planting. Ensure vertical protected level line from excavation.
 3. Ensure tree location does not conflict with Underground Services, "Call before digging".
 4. All trees here to be staked with 2" 100mmØ x 2.5m long. Minimum depth of stake is 600mm in soil. Ensure stakes do not penetrate or damage rootball. Issues of stakes are aligned parallel to side-wh/lead on the pit corners.
 5. Provide min. 3 cubic meters of growing medium per tree.
 6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.

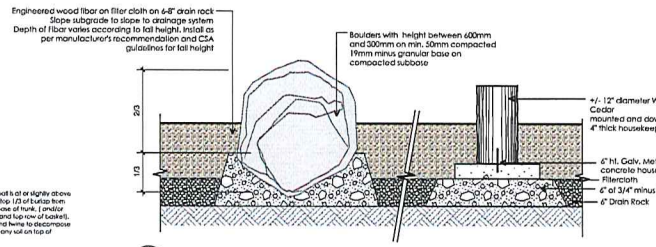
Depth of Growing Medium (bed post)	Area (m ²)	Volumes 1 (m ³)	Volumes 2 (m ³)
400	11.31	3.3 m ³ ± 0.3 m ³	3.80 m ³ ±
450	8.33	2.5 m ³ ± 0.3 m ³	3.33 m ³ ±
500	6.47	2.0 m ³ ± 0.3 m ³	2.70 m ³ ±



2 Tree Planting on Grade, Typical
 Scale: 1" = 1'-0"

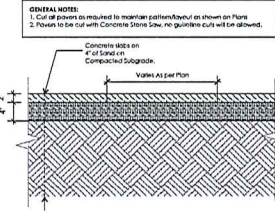
Builder Notes:
 1. Ensure all selected boulders are inspected for sharp edges & dangerous abnormalities. Any sharp edges will be rejected.
 2. Refer to plan of play area for boulder locations. Final placement of boulders to be as per on site instructions by Landscape Architect. Ensure stability of boulders.

Log Notes:
 1. Edges on top of logs to be rounded and free from splinters.
 2. Logs are set to bottom is buried 1/2 below grade. Refer to stem of play area for log locations. Final placement of logs to be reviewed and approved by Landscape Architect prior to backfilling. Ensure stability of all logs.
 3. Log heights and diameters may vary.

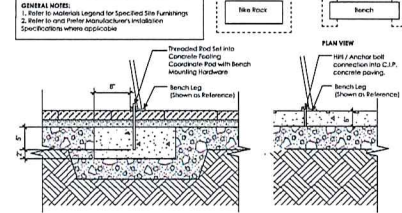


3 Boulders and Logs in Fibar Safety Surfacing @ Park
 Scale: 1" = 1'-0"

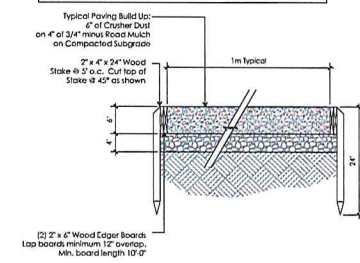
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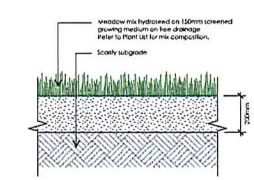
4 Concrete Hydrapressed Pavers
 Scale: 1" = 1'-0"



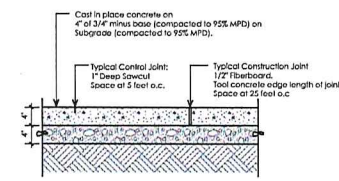
5 Site Furniture Attachment Detail
 Scale: 1" = 1'-0"



6 Type 4 paving: Rock Dust Pathway
 Scale: 1" = 1'-0"



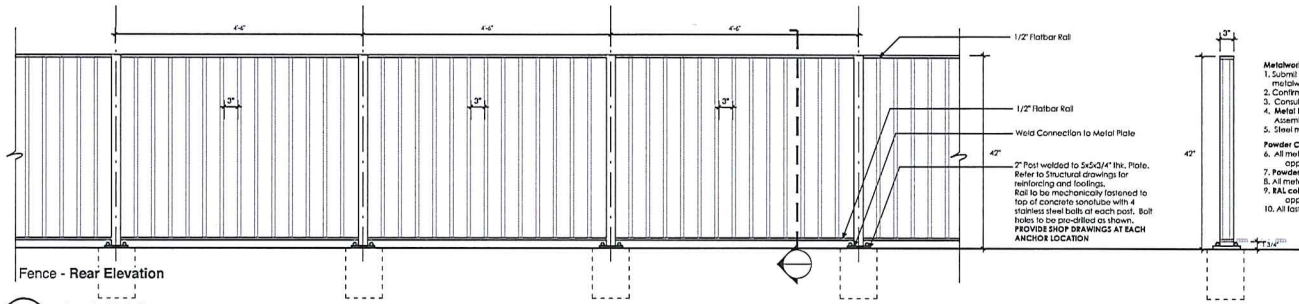
7 Hydroseeded Meadow on Grade
 Scale: 1" = 1'-0"



8 CIP Concrete Paving - on Grade
 Scale: 1" = 1'-0"

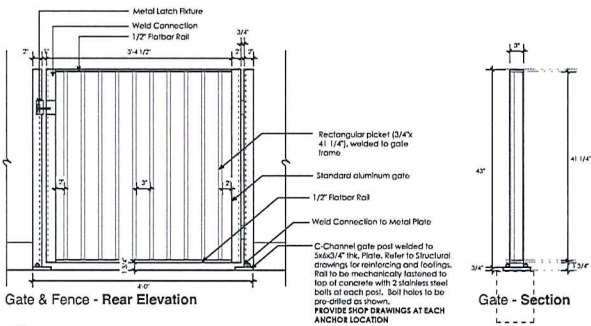
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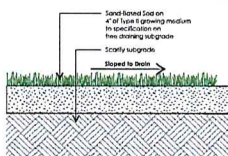
- Metawork Notes:**
1. Submit detailed / Engineered shop drawings for review and approval for all metawork prior to fabrication and in accordance with specification section 05 50 00.
 2. Confirm all dimensions on site, modify as required to maintain design intent.
 3. Consultant to approve all metawork at fabrication prior to paint application.
 4. Metal Hardware to be 316 Stainless Steel, Brushed Finish.
 5. Steel metal work other than stainless steel to be powder coated as noted.
- Powder Coated Metawork:**
6. All metal components to be cut or drilled, all weld faces ground smooth prior to powder coat application.
 7. Powder coated metal work Assemblies to be all-weld construction.
 8. All metal work other than stainless steel to be powder coated unless noted otherwise.
 9. RAL color to be determined. Provide paint colour samples for review and approval prior to application.
 10. All fastening hardware to be stainless steel unless otherwise noted.

1 Guardrail Detail
Scale 1" = 1'-0"

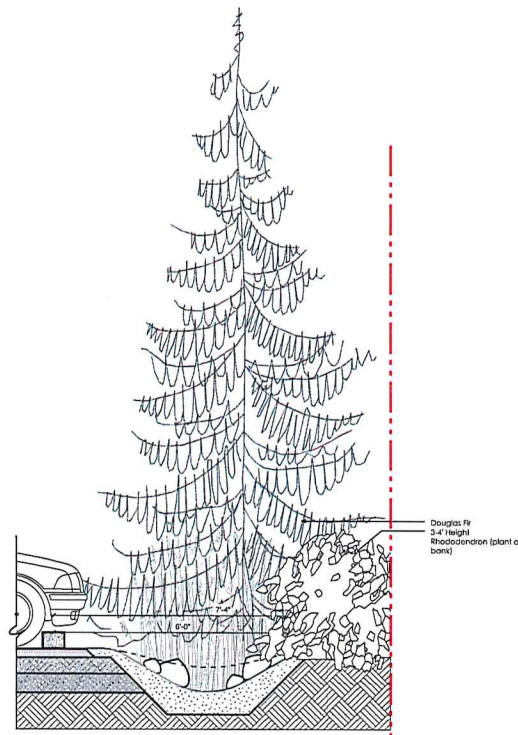


2 Townhouse Gate
Scale: 1" = 1'-0"

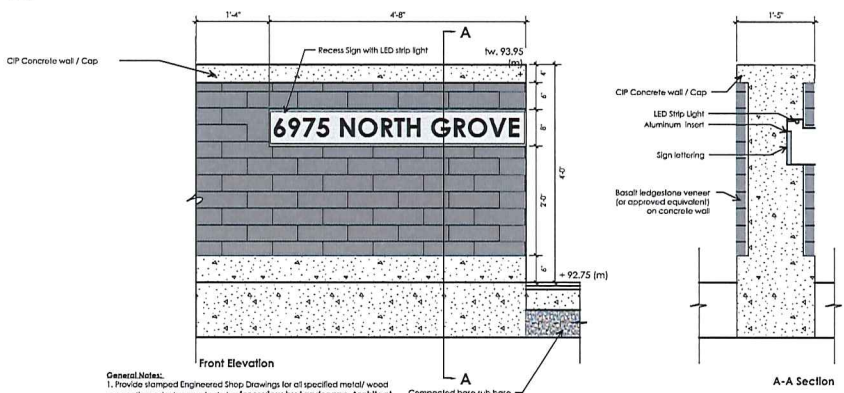
- GENERAL NOTES:**
1. All sod to project to be sand base "Non-Killfite", premium grade.
 2. Refer to Specification for all sod laid down requirements & growing medium composition.
 3. Ensure entire sod area a line of existing debris such as organic material, inorganic material and rocks etc. Drain well and consistent levelled sub grade throughout entire sod area.
 4. Sod other than that with a topsoil base outside with more will be rejected, and the 3" sod bed = installed at contractor expense.



3 Sod Lawn
Scale: 1" = 1'-0"



5 Typical Bio-Swale
Scale: 1" = 1'-0"



4 Building Entrance Wall / Sign
Scale 1" = 1'-0"

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